



AGENDA

HIGHLAND CITY PLANNING COMMISSION Tuesday, August 25, 2015 – Regular Meeting 7:00 p.m.

Highland City Council Chambers, 5400 West Civic Center Drive, Highland Utah

CALL TO ORDER: Chris Kemp, Chair

- Attendance – Chris Kemp, Chair
- Invocation – Commissioner Scott Temby
- Pledge of Allegiance – Commissioner Chris Kemp

APPEARANCES:

Time has been set aside for the public to express their ideas, concerns, and comments on non-agenda items. Speakers will be limited to three (3) minutes.

WITHDRAWALS AND CONTINUANCES:

None

PUBLIC HEARING ITEMS:

1. **CU-15-03:** A request by Lafe Harris with BDH Architects for the approval of a conditional use permit for a LDS Church meetinghouse. The property is approximately 3.59 acres in size and is located at 9681 North 6900 West.
Admin
2. **PP-15-03:** A request by Millhaven Construction, LLC. for preliminary plat approval of an 11 lot subdivision called The Flats at Fox Hollow. The property is approximately 9.80 acres and is located at 9600 N and 5560 W.
Administrative
3. **CU-15-04:** A request by City Council for the approval of a conditional use permit for a Salt Storage Building. The property is approximately 2.46 acres and is located at the northwest corner of SR-92 and North Park Dr.
Admin

OTHER BUSINESS:

APPROVAL OF MINUTES:

PLANNING STAFF REPORT:

COMMISSION COMMENTS AND SUGGESTIONS:

ADJOURNMENT:

NEXT MEETING: *September 8th, 2015* at 7:00 pm City Council Chambers

Legislative: An action of a legislative body to adopt laws or polices.

Administrative: An action reviewing an application for compliance with adopted laws and policies.

FOR SPECIAL ACCOMMODATIONS

Any individual with a qualified disability may request a reasonable accommodation by contacting the City Recorder at (801) 772-4506 at least 48 hours prior to the Commission meeting.

CERTIFICATE OF POSTING

The undersigned does hereby certify that the above agenda notice was posted in three public places within Highland City limits on this 20th day of August 2015. These public places being bulletin boards located inside the City offices and located in the Highland Justice Center, 5400 W. Civic Center Drive, Highland, UT; and the bulletin board located inside Lone Peak Fire Station, Highland, UT. On this 20th day of August, 2015 the above agenda notice was posted on the Highland City website at www.highlandcity.org.

Kelsey Bradshaw, Planning Coordinator



Community Development

SUBJECT: PUBLIC HEARING – Conditional Use Permit LDS Meetinghouse (CU-15-03)

MEETING DATE: August 25, 2015

TO: Planning Commission

FROM: Nathan Crane, Community Development Director
John Janson, Temporary Planning Assistant

REQUEST: Conditional Use Permit for an LDS Meetinghouse

PARCEL SIZE: 3.6 Acres

LOCATION: 9681 North 6900 West

APPLICANT: BHD Architects – Lafe Harris

OWNER: The Church of Jesus Christ of the Latter Day Saints, Bryan Stephenson (PM)

BACKGROUND:

The property is designated as Low Density Residential on the General Plan Land Use Map. The property is zoned R-1-40 (Single Family Residential). The R-1-40 District is primarily a residential zone but allows for certain limited other uses such as churches subject to a conditional use permit. The minimum lot width is 130 feet.

The church will be located on Lot 3 of the 9600 North Subdivision. This subdivision was approved by the City Council in December of 2009 and recorded in September of 2010.

A Conditional Use Permit is an administrative process.

SUMMARY OF REQUEST:

1. The applicant is requesting approval of a 19,422 square foot church. The site includes a 205 square foot storage building and a 2,295 square foot pavilion.
2. Access to the site will be from two driveways on 9600 North.
3. The minimum 30 foot setback is provided along 9600 North.

4. Approximately 55,186 square feet (35.26%) of the site is landscaped. Ten foot landscape buffer are included on the north and south sides and a 76 foot landscape buffer is provided on the west side. A six foot concrete wall will also surround the site.
5. The site plan shows 212 parking spaces. There are 7 ADA accessible stalls.

CITIZEN PARTICIPATION:

Notice of the Neighborhood Meeting was mailed to all property owners within 500' of the proposed conditional use permit on July 1, 2015. Nine people attended the meeting. Based on the information submitted by the applicant no one in attendance opposed the proposed conditional use permit (Attachment 2).

Notice of the Planning Commission meeting was published in the Daily Herald on August 9, 2015. Notice of the meeting was also mailed to all property owners within 500' on August 10, 2015. No comments have been received.

REQUIRED FINDINGS:

The City Council must determine that the proposed use meets three findings prior to granting a Conditional Use Permit. The burden of proof rests with the applicant. Each finding is presented below along with staff's analysis.

- 1. The use will not be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity or injurious to property or improvements in the vicinity.**

The property to the north, south, east, and west is zoned R-1-40. The property to the north is vacant and is owned by the Alpine School District. The property to the west, east, and south is existing single family residential. The proposed use is compatible with the existing and planned land uses.

- 2. The use complies with all applicable regulations in the Development Code.**

The proposed buildings meet or exceed all required setbacks. The site meets the minimum 35% landscaping. A six foot wall is also proposed along the rear property line.

There will be no parking lot lighting. If lighting is needed it will be mounted to the building and will be fully shielded and directed downward. Lighting on the site will be limited to one foot candle at the property line.

The proposed building will meet all requirements of the Development Code.

- 3. Conditions are imposed to mitigate any detrimental effects.**

Four stipulations have been included to ensure compliance with the Development Code.

CONCLUSION:

With the proposed stipulations, the proposed use appears to meet the required findings.

RECOMMENDATION:

The Planning Commission should hold a public hearing and recommend **APPROVAL** of the conditional use permit subject to the following stipulations:

1. The final site plan shall be in substantial conformance with the site plan dated July 13, 2015.
2. Final civil engineering plans to be reviewed and approved by the City Engineer.
3. Final landscape plans to be approved prior to issuance of a building permit.
4. All required public improvements shall be installed as per City Engineer's approval

PROPOSED MOTION:

I move that the Planning Commission accept the findings and recommend **APPROVAL** of the conditional use permit for the Cedar Hollow 6, 8 LDS Meetinghouse, subject to the four stipulations recommended by staff.

ALTERNATE MOTION:

I move that the Planning Commission recommend denial of the conditional use permit for the Cedar Hollow 6, 8 LDS Meetinghouse, subject to the following findings (The Commission should draft appropriate findings that demonstrate the proposed conditional use permit does not meet the standards established in the Development Code):

ATTACHMENTS:

Attachment 1 – Site Plan, Landscape Plan, Elevations

Attachment 2 – Neighborhood Meeting Summary

Attachment 3 – Applicant's Narrative

GENERAL NOTES

A. FOR OVEREXCAVATION REQUIREMENTS, SEE GRADING SITE PLAN C103.

B. CONCRETE RADII ARE 6'-0" UNLESS NOTED OTHERWISE.

C. PARKING STALLS ARE 9'-0" x 18'-0" UNLESS NOTED OTHERWISE.

D. ALL NOTED ITEMS ARE NEW UNLESS NOTED OTHERWISE.

E. DIMENSIONS OF BUILDINGS AND ENCLOSURES ARE TO FOUNDATION - TYPICAL.

F. COORDINATE ALL WORK AFFECTING ADJACENT PROPERTIES WITH RESPECTIVE PROPERTY OWNERS PRIOR TO ANY DEMOLITION OR CONSTRUCTION WORK. REPAIR AND REPLACE ALL EXISTING ITEMS ON ADJACENT PROPERTIES DAMAGED OR AFFECTED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROPERTY OWNER.

G. COORDINATE ALL SITE WORK WITH ALL OTHER CONTRACT DOCUMENTS.

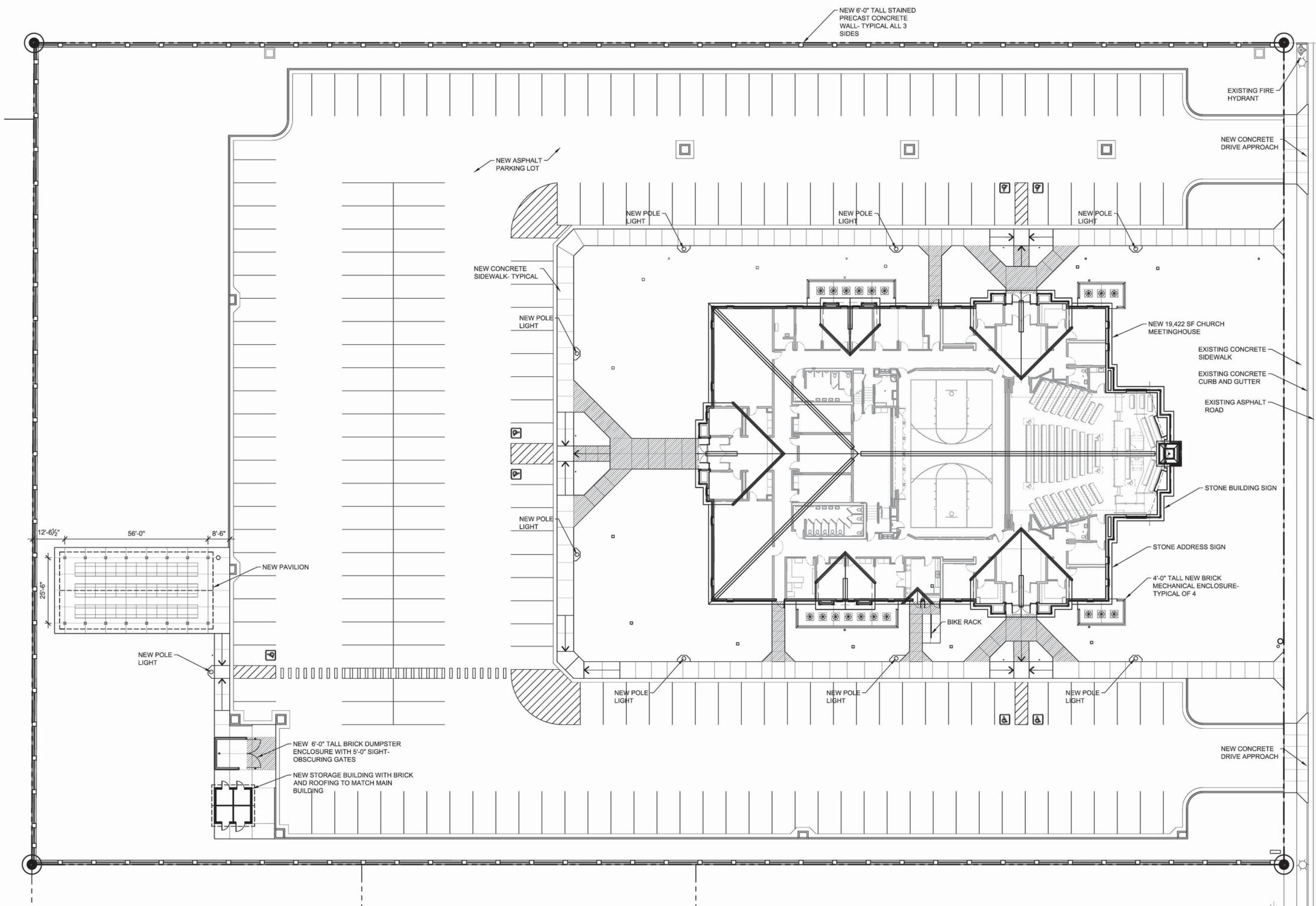
H. THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL-INCLUSIVE, NOR TO DEFINE THE SCOPE OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PREPARING HIS BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE DURING BIDDING AS REQUIRED TO DETERMINE THE TOTAL EXTENT AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. ALL ITEMS THAT ARE NOT REQUIRED TO REMAIN SHALL BE OF THE DEMOLITION WORK WHETHER SHOWN SPECIFICALLY OR NOT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO CARRY OUT THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS. THE BUILDINGS AND PARKING LOT ARE PARALLEL OR PERPENDICULAR TO THE EAST PROPERTY LINE.

J. FOR MOWSTRIPS IN LANDSCAPED AREAS/LANDSCAPE EDGING, SEE LANDSCAPING SHEETS.

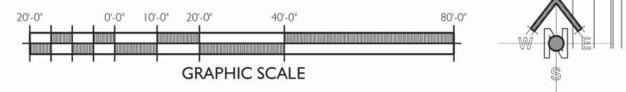
K. SEE E/C501 FOR DETAIL AT EXTERIOR DOOR LANDINGS.

KEYED NOTES

- EXISTING FENCE TO REMAIN.
- NEW CONCRETE MOW STRIP AT EXISTING FENCE. SEE 7???
- NEW CONCRETE CURB RAMP - 6" RISE MAX. (1:12 SLOPE)
- 18'-0" POLE LIGHT. PROVIDE HOUSE-SIDE SHIELDS AT POLE LIGHTS ADJACENT TO THE PROPERTY LINE. SEE D & E/C503 & ELECTRICAL SITE PLAN.
- CONCRETE CURB & GUTTER - TYPICAL. SEE TYPICAL DETAILS C501 & INFALL OUTFALL NOTATION ON THE GRADING & DRAINAGE SITE PLAN.
- EXISTING POWER POLE TO REMAIN.
- NEW 6'-0" VINYL-COATED CHAIN LINK FENCE WITH MOW STRIP. SEE 7???
- NEW -
- ACCESSIBLE PARKING SIGN. SEE A/C502.
- MECHANICAL ENCLOSURE. SEE B/C503 & STRUCTURAL SHEETS.
- ASPHALT PAVING - TYPICAL. SEE F/C501.
- 12" NYLOPLAST ROOF DRAIN BASIN. SEE K/C502 & GRADING & DRAINAGE SITE PLAN.
- NEW ASPHALT STREET PAVING PER CITY STANDARDS. SEE C107.
- NEW NYLOPLAST YARD DRAIN OR CLEAN OUT BOX. SEE GRADING & DRAINAGE SITE PLAN.
- ALIGN EDGE OF SIDEWALK WITH EDGE OF FOUNDATION.
- CONCRETE TRANSFORMER PAD PER LEH POWER REQUIREMENTS. SEE ELECTRICAL SHEETS.
- ACCESSIBLE ACCESS AISLE.
- 4" WIDE PAINTED PARKING LINES - TYPICAL.
- BLUE & WHITE PAINTED ACCESSIBLE PARKING SYMBOL - TYPICAL.
- 6'-0" TALL MASONRY DUMPSTER ENCLOSURE WITH SOLID VINYL GATES. SEE A/C503.
- STORAGE BUILDING. SEE C801. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE STORAGE BUILDING.
- CONCRETE SIDEWALK. SEE A & K/C501.
- 6" THICK CONCRETE OVER 10" BASE AT DUMPSTER ENCLOSURE PAD AND AS INDICATED BY HATCH PATTERN.
- LOCK BOX LOCATION. SEE A101.
- 6" MOW STRIP. SEE LANDSCAPE SHEETS.
- SEWER CLEAN OUT. SEE SITE UTILITY PLAN.
- CURB INLET CATCH BASIN. SEE SITE GRADING AND DRAINAGE PLAN. INSTALL 18" x 6" CONCRETE APRON AROUND BASIN.
- CATCH BASIN OR CLEAN OUT BASIN. SEE GRADING AND DRAINAGE PLAN. INSTALL 18" x 6" CONCRETE APRON AROUND BASINS LOCATED IN PAVING.
- BOULDER RETAINING WALL. SEE LANDSCAPE SHEETS.
- 4'-0" MIN. LANDING AT 2.0% GRADE. SEE SITE GRADING PLAN.
- CONCRETE STEPS: 11 TREADS @ 4'-0" WITH 12 RISERS @ 6". SEE G/C501 AND SITE GRADING PLAN.
- TRANSITION HEIGHT OF CURB FROM FULL HEIGHT TO EVEN WITH SIDEWALK AND GUTTER IN 5'-0".
- CONCRETE STAIRS. SEE G/C502.
- BIKE RACK. SEE F/C503.
- NEW CONCRETE DRIVE APPROACH PER CITY STANDARDS.
- EXISTING STREET PAVING TO REMAIN. SEE SITE SURVEY.
- NEW CONCRETE SIDEWALK PER CITY STANDARDS. SEE C107.
- NEW CONCRETE CURB AND GUTTER PER CITY STANDARDS. SEE C107.
- EDGE OF NEW ASPHALT.
- EDGE OF EXISTING ASPHALT. SAWCUT EDGE AS NOTED ON C106 & C107.
- NEW BOLLARD. SEE B/C502.
- EXISTING FIRE HYDRANT TO REMAIN.
- HATCHED AREA INDICATES AREA OF 18" DEEP AGGREGATE BASE TYPICAL. SEE E/C501.
- NEW STORM DRAIN MANHOLE. SEE C103 & C107.
- EXISTING MANHOLE TO REMAIN. SEE SITE SURVEY.
- NEW STORM DRAIN MANHOLE. SEE C104 & C110.
- NEW STORM DRAIN MANHOLE. SEE C103, C109, & C110.
- TRUNCATED DOME DETECTABLE WARNING SURFACE AT THE BOTTOM OF CURB RAMP OR SLOPED SECTION OF SIDEWALK.
- END OF FENCE. CONTINUE CONCRETE MOWSTRIP TO SIDEWALK.
- BLOCK RETAINING WALL. SEE H & J/C501, AND GRADING AND DRAINAGE PLAN.
- FACP LOCATION. SEE A101 AND ELECTRICAL SHEETS.
- SLOPED SECTION OF SIDEWALK. SEE GRADING PLAN.
- PAINTED CROSSWALK, 1'-0" WIDE STRIPES.



1 SITE ARCHITECTURAL PLAN
SCALE: 1" = 20'-0"



SITE DATA

TOTAL PARKING PROVIDED:	220
SITE AREAS	
MAIN BUILDING	19,422 SF 12.41%
STORAGE BUILDING	2,295 SF 0.13%
PAVILION	2,295 SF 1.47%
ASPHALT	66,620 SF 42.56%
CONCRETE	15,099 SF 8.18%
LANDSCAPING	55,186 SF 35.26%
TOTAL SITE:	156,532 SF 3.59 ACRES

#	DATE	DESCRIPTION

PROJECT NAME: Cedar Hollow 6, 8
Lehi UT Cedar Hollow Stake

PROJECT FOR: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROPERTY # 592-7091
PLAN SERIES HET-MAS-06-05
DATE 30 Jun 2015
BID#/PROJECT # 1531

APPROXIMATELY 8850 North 9600 West
Highland, Utah

SHEET TITLE: SITE ARCHITECTURAL PLAN
SHEET: C111

ARCHITECTS: bba ARCHITECTS
65 E. Wadsworth Park Dr., Ste. 205, Draper, Utah 84020
Phone: 801.571.0010 Fax: 801.571.0303
Toll Free: 888.571.0010 bbaarchitects.com

- GENERAL NOTES**
- THE ZONING OF THIS PARCEL AND ALL ADJACENT PARCELS IS R-1-40.
 - ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED/CONCEALED FROM STREET VIEW.
 - PLANTS LOCATED WITHIN REQUIRED SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED REGULARLY TO PERMIT UNOBSTRUCTED VISION. PLANT MATERIAL SHALL BE MAINTAINED TO BE LOWER THAN 3' (SHRUBS) OR TALLER THAN 7' (BOTTOM OF TREE CANOPY).
 - ALL DEVELOPMENTS SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND LANDSCAPE PLAN. ANY CHANGES THERETO SHALL REQUIRE APPROVAL OF HIGHLAND CITY.
 - THIS PROJECT IS SUBJECT TO THE CURRENT HIGHLAND CITY ENGINEERING REQUIREMENTS (MAG SUPPLEMENTAL REGULATIONS), GENERAL PLAN, DEVELOPMENT CODE, AND ANY APPLICABLE SPECIFIC PLANS.

DATE	DESCRIPTION

STAMP



65 E Wadsworth Park Dr., Ste 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0303
 bh architects.com Toll Free: 888.571.0010

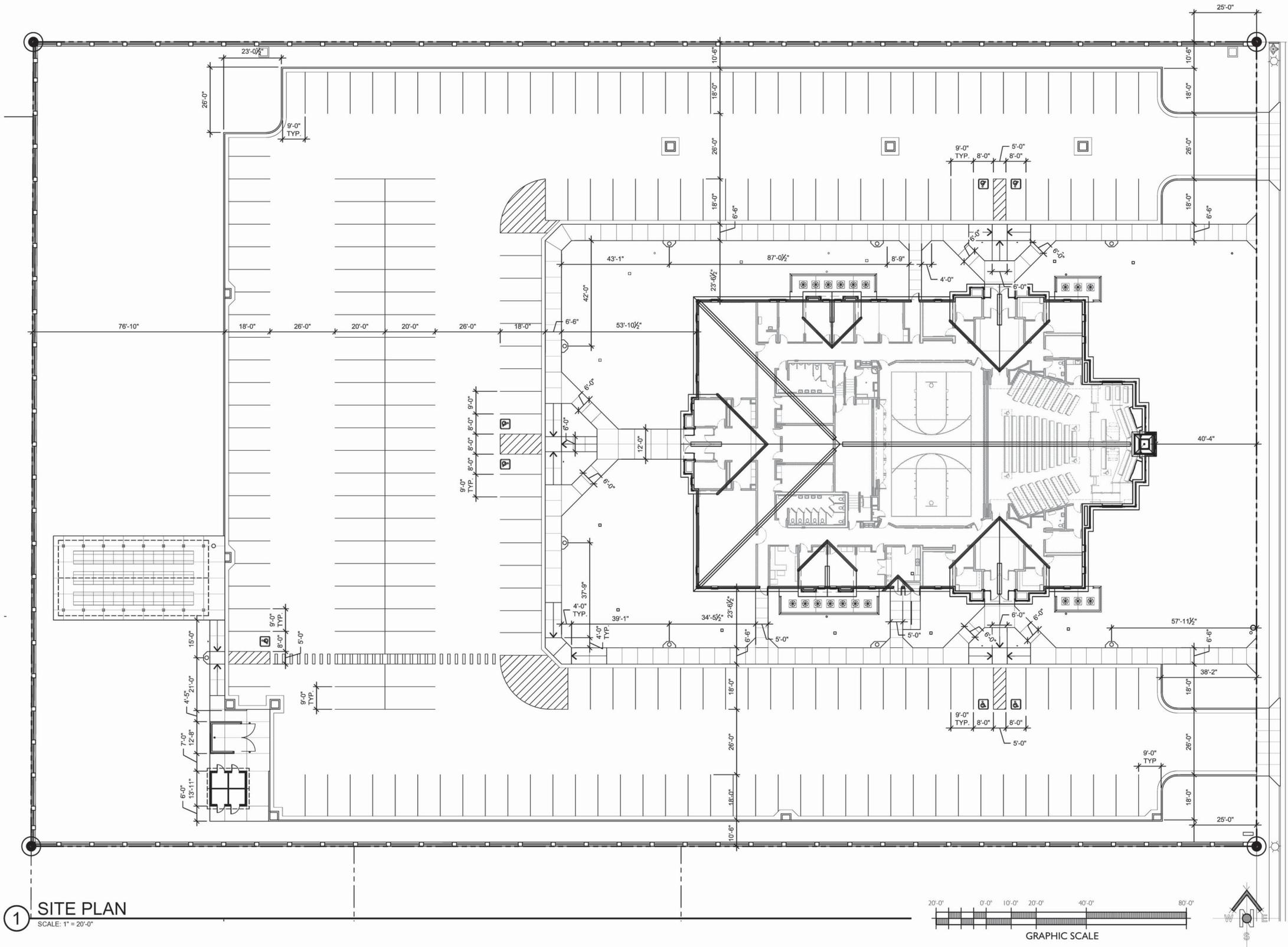
PROJECT FOR
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

PROJECT NAME
**Cedar Hollow 6, 8
 Lehi UT Cedar Hollow Stake**

PROPERTY # 592-7091
 PLAN SERIES HET-MAS-06-05
 BIDDING PROJECT # 1531
 DATE 30 Jun 2015

SHEET TITLE
SITE PLAN

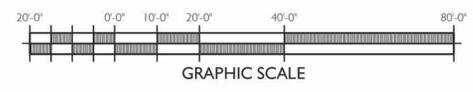
SHEET #
C112



1 SITE PLAN
 SCALE: 1" = 20'-0"

SITE DATA

TOTAL PARKING PROVIDED:	220
SITE AREAS	
MAIN BUILDING	19,422 SF 12.41%
STORAGE BUILDING	205 SF 0.13%
PAVILION	2,295 SF 1.47%
ASPHALT	66,620 SF 42.56%
CONCRETE	15,099 SF 8.18%
LANDSCAPING	55,186 SF 35.26%
TOTAL SITE:	156,532 SF 3.59 ACRES



#	DATE	DESCRIPTION

STAMP

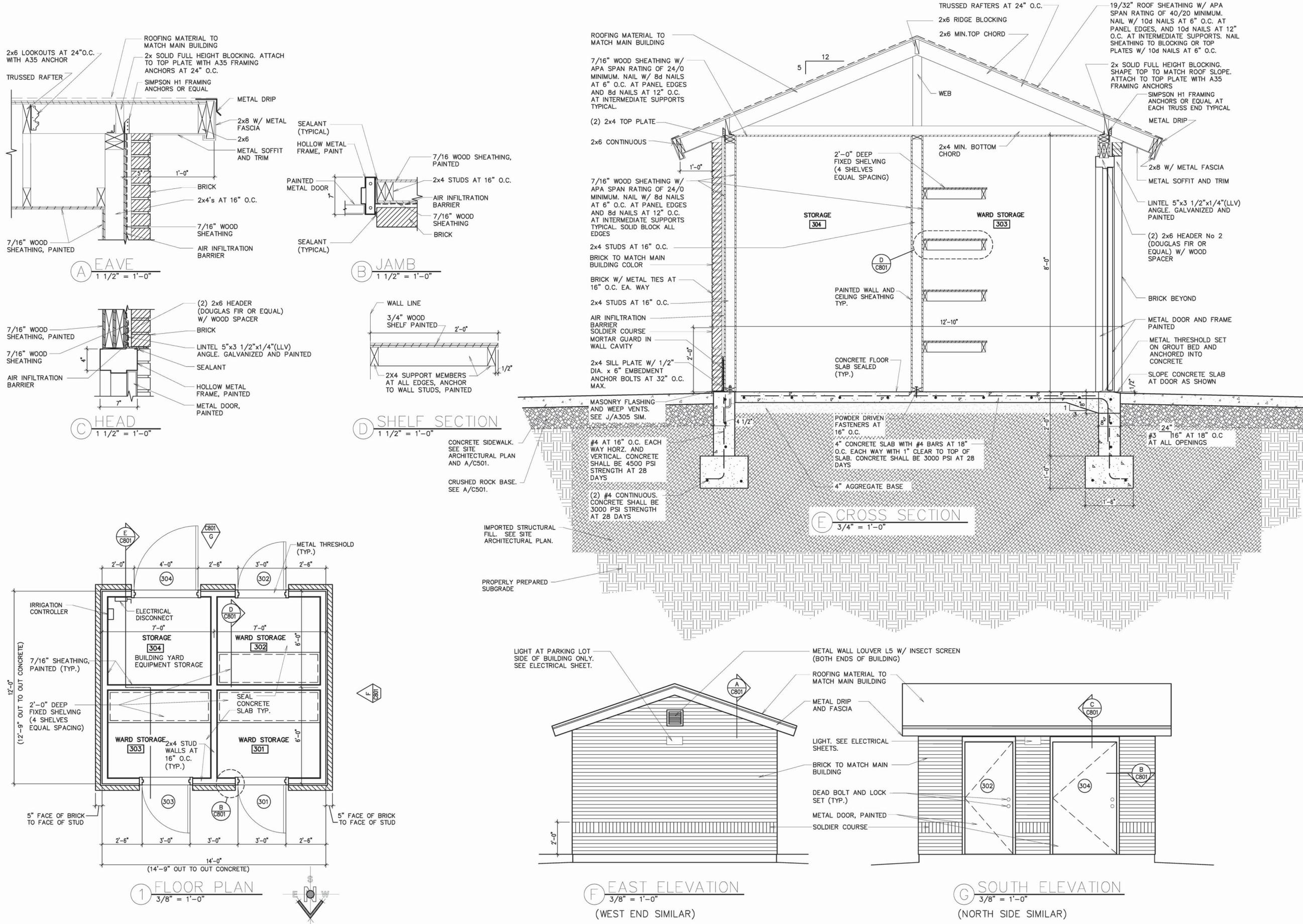
bh ARCHITECTS
 45 E. Wadsworth Park Dr., Ste. 205 • Phone: 801.571.0010
 Draper, Utah 84020 • Fax: 801.571.0303
 bharchitects.com • Toll Free: 888.571.0010

PROJECT FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME
**Cedar Hollow 6, 8
 Lehi UT Cedar Hollow Stake**
 APPROXIMATELY 6850 NORTH 9600 WEST
 FIGHTLAND, UTAH
 BIDDING PROJECT # HET-MAS-08-05
 1531
 PROPERTY # 592-7091
 DATE 30 Jun 2015

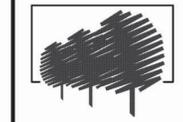
SHEET TITLE
STORAGE BUILDING

SHEET:
C801



SHEET:
C801

#	DATE	DESCRIPTION
1	11 June 2015	Site Plan Submission



E. A. Lyman
Landscape Architecture
8188 South Highland Dr. D7
Sandy, Utah 84093
Telephone: 801.943.6564

STAMP:

65 E Wadsworth Park Dr, Ste 205
Draper, Utah 84020
801.571.0010
801.571.0303
Fax: 801.571.0303
Toll Free: 888.571.0010
bhdarchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
**Cedar Hollow 6, 8
Lehi UT Cedar Hollow Stake**

PROPERTY #
592-7091

PLAN SERIES
HET-MAS-09-05

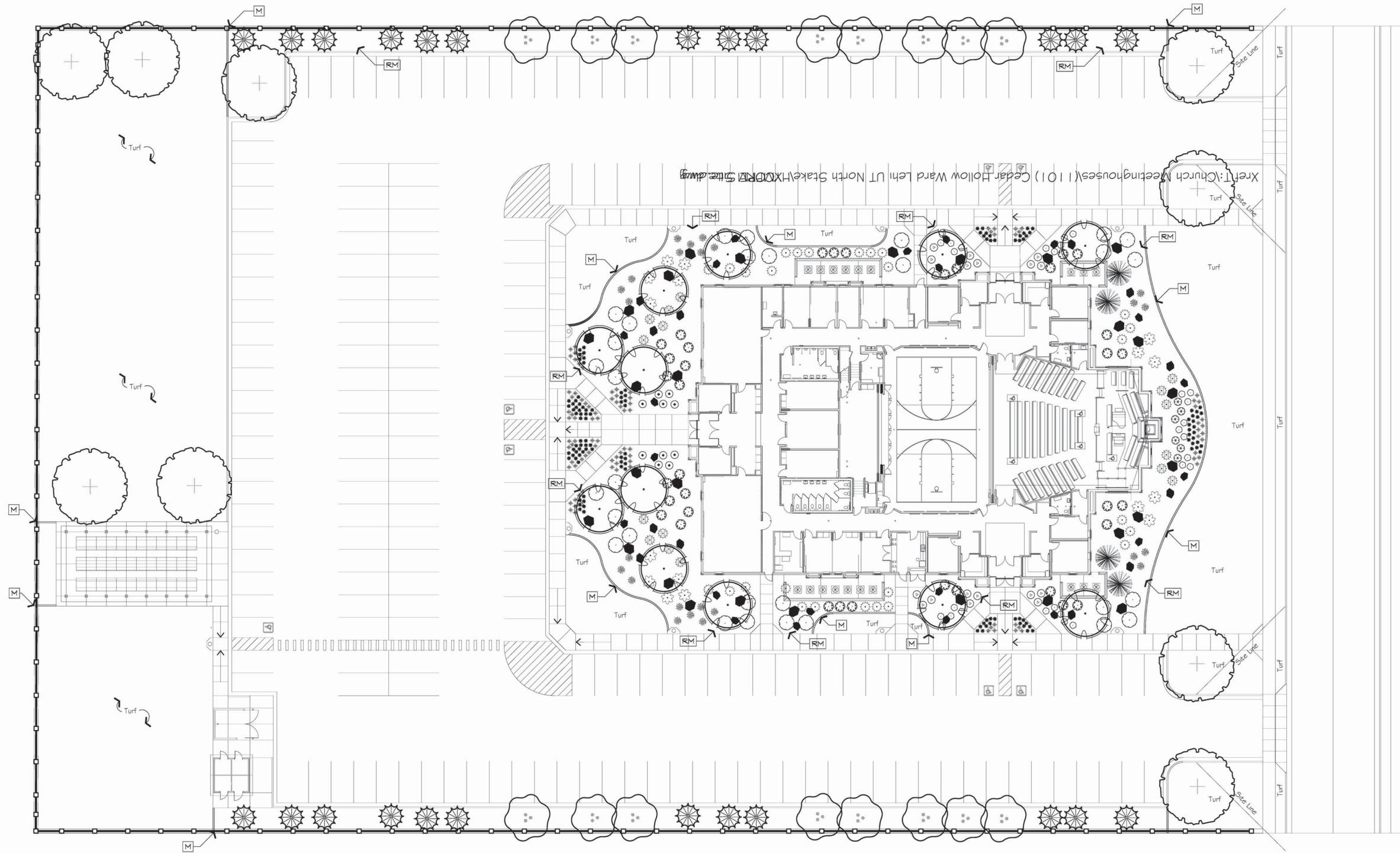
APPROXIMATELY 9650 North 6900 West
Highland, Utah

DATE:
30 Jun 2015

IRMA PROJECT #
1531

SHEET TITLE:
PLANTING PLAN

SHEET:
L101



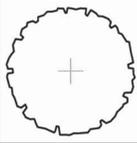
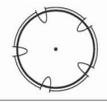
NORTH

SCALE: 1" = 20'

REFER TO SHEET L102 FOR PLANT SCHEDULE

Xref: Church Meetinghouses (10) Cedar Hollow Ward Lehi UT Stake\XREF Site.dwg

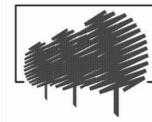
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	EMITTER TYPE - SHRUB BEDS ONLY
	9	Gleditsia tracanthos 'Impenal'	Imperial Honeylocust	B & B	2" Cal	
	24	Juniperus scopulorum 'Gray Gleam'	Gray Gleam Juniper	1.5 gal		
	12	Malus x 'Spring Snow'	Spring Snow Crab Apple	B & B	2" Cal	2 Ring 0.6 gph emitter @ 18" OC
	16	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	B & B	2" Cal	2 Ring 0.4 gph emitter @ 18" OC
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	EMITTER TYPE - SHRUB BEDS ONLY
	4	Picea pungens glauca 'Baby Blue Eyes' TM	Baby Blue Eyes Colorado Blue Spruce	B & B	6" HT MIN	2 Ring 0.4 gph emitter @ 18" OC
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	EMITTER TYPE
	29	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	Container	5 gal	1 GPH Emitter
	36	Cornus alba 'Ballhalo' TM	Ivory Halo Dogwood	Container	5 gal	
	18	Cornus sencea 'Kelsey'	Kelsey Dogwood	Container	5 gal	2 GPH Emitter
	16	Lonicera xylosteum 'Emerald Mound'	Emerald Mound Honeysuckle	Container	5 gal	2 GPH Emitter
	27	Physocarpus opulifolius 'Little Devil' TM	Dwarf Ninebark	5 gal		2 GPH Emitter
	30	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	Container	5 gal	2 GPH Emitter
	10	Spiraea x bumalda 'Goldmound'	Gold Mound Spirea	Container	5 gal	2 GPH Emitter
	24	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	Container	2 gal	1 GPH Emitter
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	EMITTER TYPE
	93	Hemerocallis x 'Little Jazz'	Red Daylily	Container	1 gal	
	121	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	Container	1 gal	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	EMITTER TYPE
	6	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	Container	1 gal	1 GPH Emitter
ROSES	QTY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	EMITTER TYPE
	16	Rosa Meidiland series 'Fairy'	Fairy Meidiland Rose	5 gal		

MISC	
	Snow Storage
	Kentucky Bluegrass Sod
	Concrete Mowstrip - Refer to L101 Mowstrip Dimension Plan
	Install 3" depth 3/4" - 1 1/4" washed Soutitown Cobble (Utah Landscape Products) OR 3" depth 1/2" - 1" washed Weber River Cobble (Staker Parson). Install over DeWitt Pro-5 Weed Barrier.
	Install 3" depth 1 1/2" washed Palomino (Staker Parson). Install over DeWitt Pro-5 Weed Barrier.
	Install 4" depth 4" - 6" washed Weber River Cobble (Staker Parson). Install over DeWitt Pro-5 Weed Barrier.
	2'-6" to 5' boulders from Brown's Canyon Quarry. Submit Sample To Landscape Architect For Approval. 20% 2'-6" Boulders 30% 3' Boulders 30% 3'-6" Boulders 10% 4' Boulders 10% 5' Boulders Percentages are by quantity not weight
NOTES:	1. See details and specifications for additional information. 2. Rain sensor will be installed as part of the irrigation system.

CITY REQUIRED INFORMATION:
 1. Irrigation system will be using secondary water with an automatic filter. The lawn areas will be irrigated with overhead spray or rotor heads, the shrub beds will be watered with point source drip. The controller will be a Smart controller using local weather information to determine watering times.
 2. The square footage of the landscaped area inside of the ROW is 1034 s.f.

DATE:	11 June 2015
REVISION:	1



E. A. Lyman
 Landscape Architecture
 8188 South Highland Dr. D7
 Sandy, Utah 84093
 Telephone: 801.943.6564



65 E Wadsworth Park Dr, Ste 205
 Draper, Utah 84020
 801.571.0010
 Fax: 801.571.0303
 Toll Free: 888.571.0010
 bbdarchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
**Cedar Hollow 6, 8
 Lehi UT Cedar Hollow Stake**

PROPERTY #:
 592-7091

PLAN SERIES:
 HET-MAS-09-05

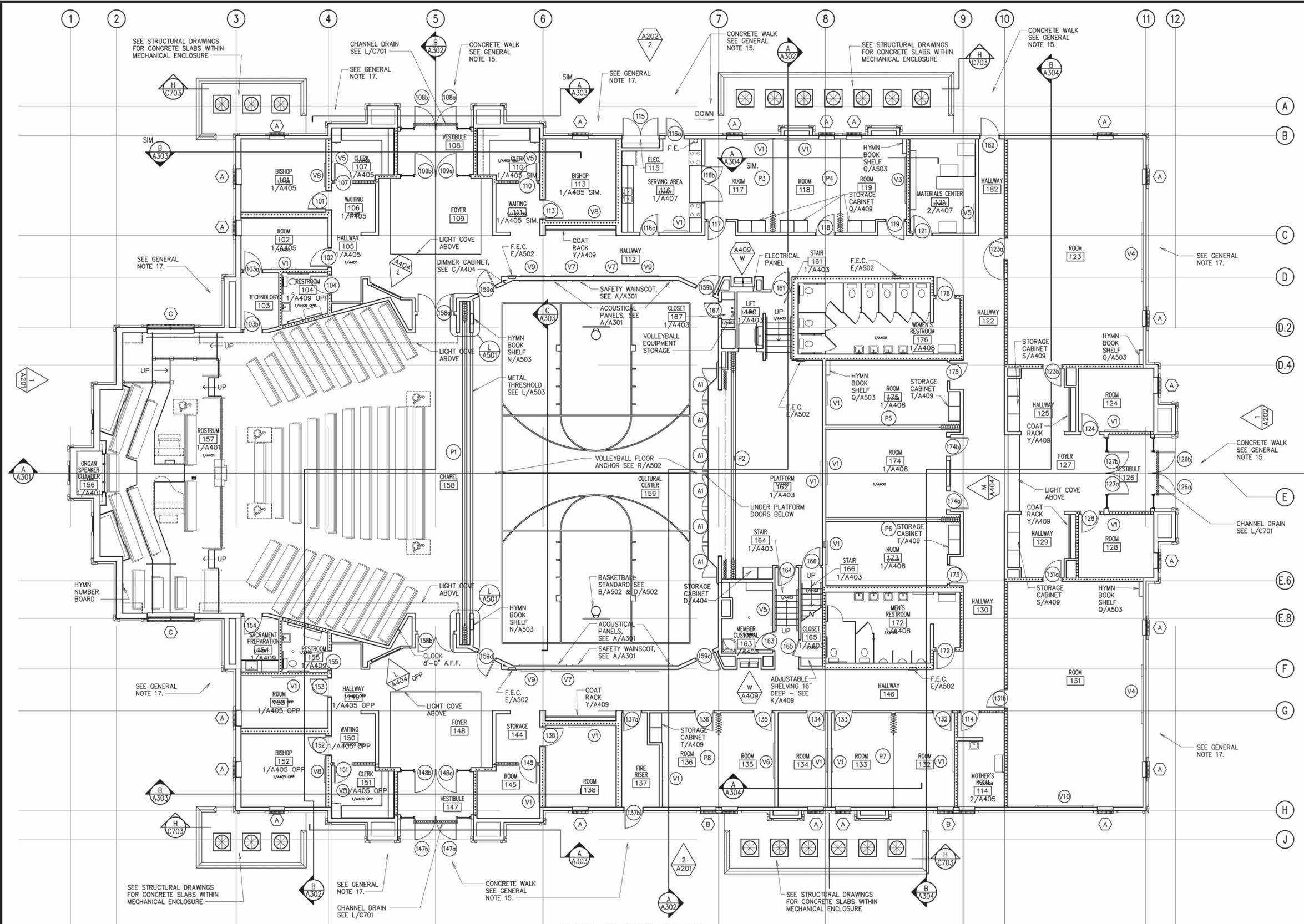
DATE:
 30 Jun 2015

APPROXIMATELY 9650 North 6900 West
 Highland, Utah

INDIA PROJECT #:
 1531

SHEET TITLE:
PLANTING PLAN

SHEET:
L102



GENERAL NOTES:

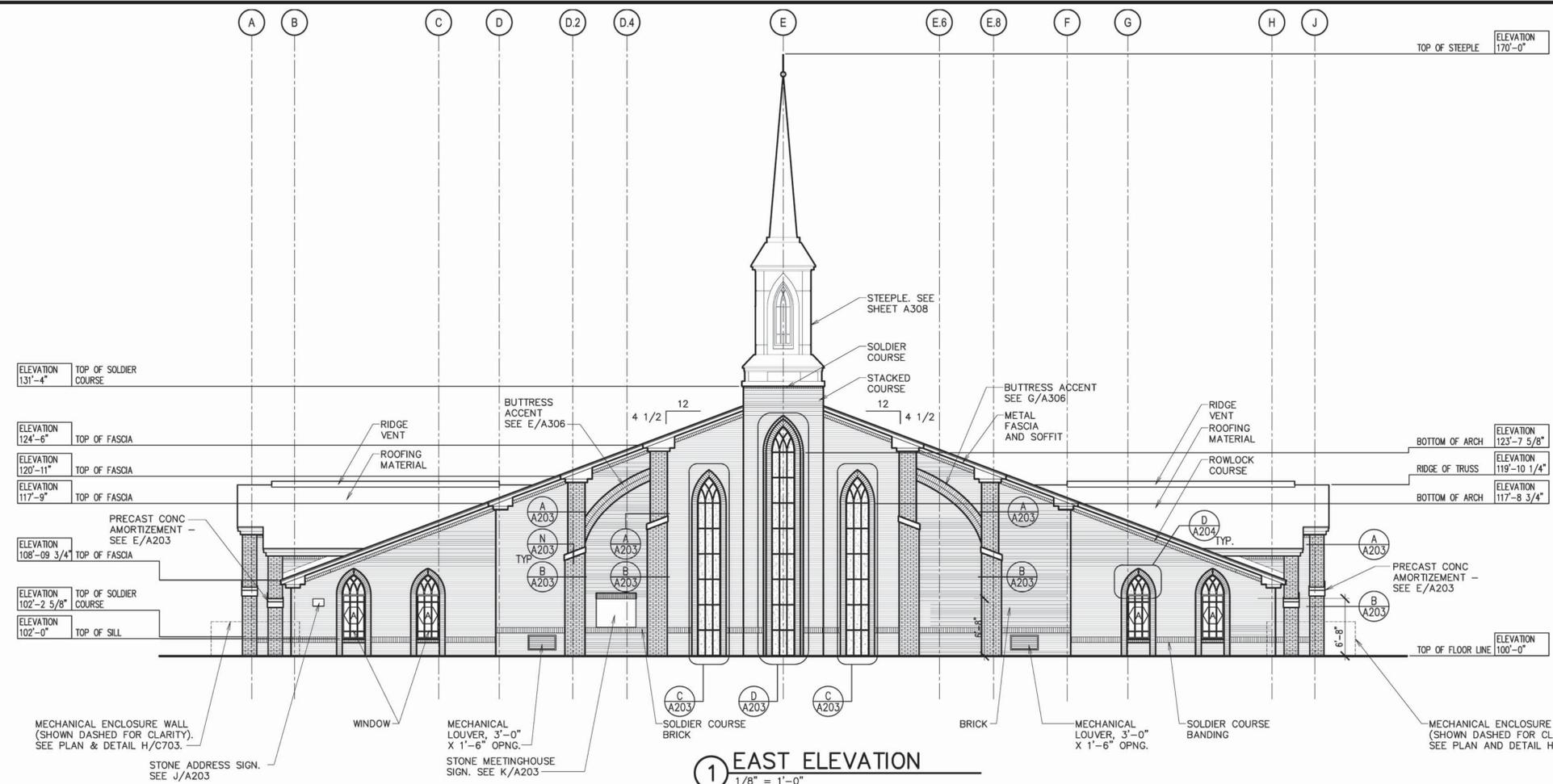
1. SEE SHEET A102 FOR DIMENSIONS.
2. SEE SHEETS A103 & A104 FOR WALL TYPES.
3. INSULATE ATTIC SPACE ABOVE AND INTERIOR WALLS AROUND VESTIBULE 108, 126, AND 147.
4. PROVIDE SOLID BLOCKING IN THE WALLS AT ALL DOOR STOPS, VISUAL DISPLAY BOARDS, TOILET COMPARTMENTS, LAVATORY SUPPORTS, AND AT ALL OTHER EQUIPMENT AND ACCESSORY LOCATIONS - A/A601. (TYPICAL)
5. FOR ELEVATIONS OF VISUAL DISPLAY BOARDS. SEE SHEET A601.
6. INSULATE CEILING ABOVE ROOMS 101, 107, 110, 113, 128, 138, 145, 151, 152, 172, 173, 174, 175 AND 176 FOR SOUND CONTROL.
7. VAPOR RETARDER UNDER CONCRETE SLAB. SEE F/A502.
8. FOR LOCATION OF RETURN AIR DUCTS IN STUD WALLS SEE MECHANICAL DRAWINGS.
9. FIRE BLOCKING AT SHAFT WALLS. SEE DETAILS G/A502 AND H/A502.
10. PROVIDE 2x FIRE BLOCKING IN ALL WALLS AT CEILING AND FLOOR LEVELS.
11. ALL WALLS EXCEEDING 10 FEET IN HEIGHT. PROVIDE 2x FIRE BLOCKING NOT TO EXCEED 10'-0" O.C. VERTICALLY. ALSO INCLUDE 2x FIRE BLOCKING AT FLOOR AND CEILING LEVELS.
12. FOR DOOR SCHEDULES. SEE SHEET A602.
13. FOR WINDOW SCHEDULES. SEE SHEET A603.
14. FOR DIMENSIONS TO FACE OF FOUNDATION AND MECHANICAL ENCLOSURES - SEE STRUCTURAL.
15. SEE CIVIL SHEETS FOR CONTINUATION OF CONCRETE SIDEWALK AT ENTRIES AND ALL OTHER SITE CONCRETE.
16. GRID LINES ARE TO BE TO FACE OF STUD UNLESS NOTED OTHERWISE.
17. LINE OF OPTIONAL CONCRETE APRON. SEE CIVIL DRAWINGS
18. IF AHJ REQUIRES A "KNOX" BOX, ARCHITECT WILL INDICATE THE LOCATION PER THE AHJ'S REQUIREMENT. IF NOT REQUIRED, REMOVE REFERENCES TO A "KNOX" BOX AND DO NOT PROVIDE ONE.
19. FIRE ALARM PANEL LOCATION IS INDICATED ON SHEET FA101. CONFIRM WITH AHJ THAT THE PROPOSED LOCATION IS ACCEPTABLE. IF NOT, REVISE LOCATION ON FA101.

WALL TYPES LEGEND:

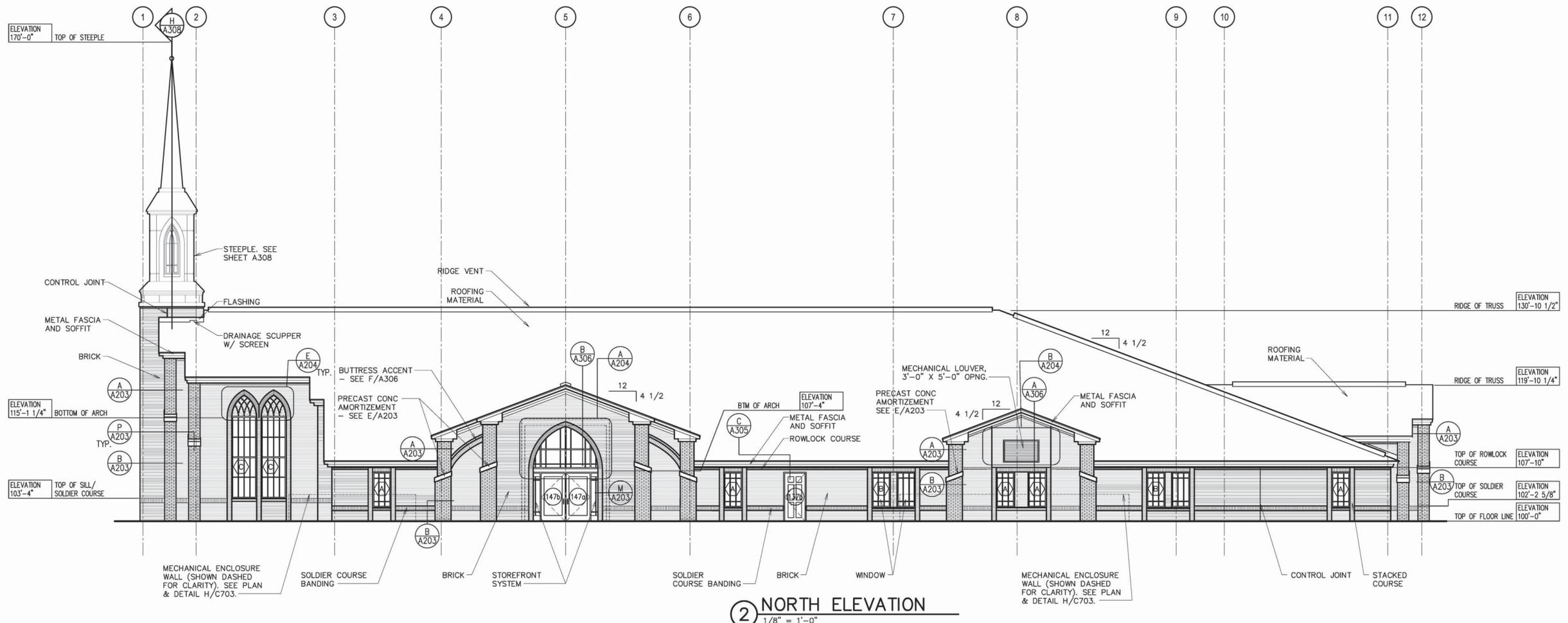
- ACOUSTICAL BATT INSULATION IN WALL.

1 MAIN FLOOR PLAN
1/8" = 1'-0"

DRAWING REVISION SCHEDULE	
DATE	
STAGE	
bb ARCHITECTS	65 E. Wadsworth Park Dr., Ste. 205 Draper, Utah 84020 Phone: 801.571.0010 Fax: 801.571.0303 Toll Free: 888.571.0010 bbarchitects.com
PROJECT FOR:	THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
PROJECT NAME:	Cedar Hollow 6, 8 Lehi UT Cedar Hollow Stake
SHEET TITLE:	MAIN FLOOR PLAN
DATE:	30 Jun 2015
BIDDING PROJECT #:	1531
PLAN SERIES:	HET-MAS-06-05
PROPERTY #:	592-7091
SHEET:	A101



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

#	DATE	DESCRIPTION

ARCHITECTS

65 E Wadsworth Park Dr., Ste. 205
Draper, Utah 84020
Phone: 801.571.0010
Fax: 801.571.0303
Toll Free: 888.571.0010
bbdarchitects.com

PROJECT FOR

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

PROJECT NAME

Cedar Hollow 6, 8
Lehi UT Cedar Hollow Stake

Approximately 9650 North 9600 West
Highland, Utah

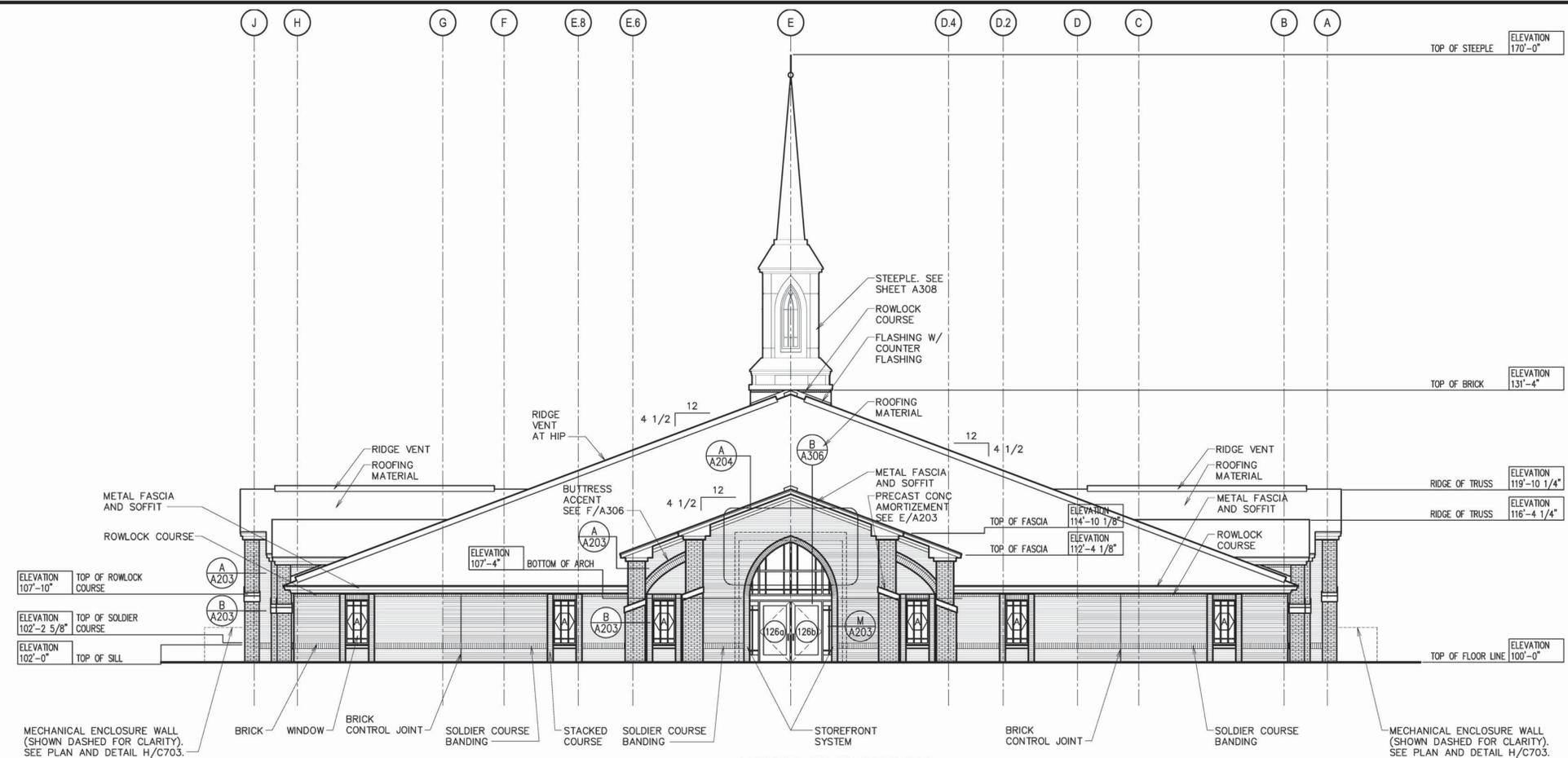
DATE: 30 Jun 2015
BIDD/PROJECT #: 1531
PLAN SERIES: HET-MAS-09-05
PROPERTY #: 592-7081

SHEET TITLE:

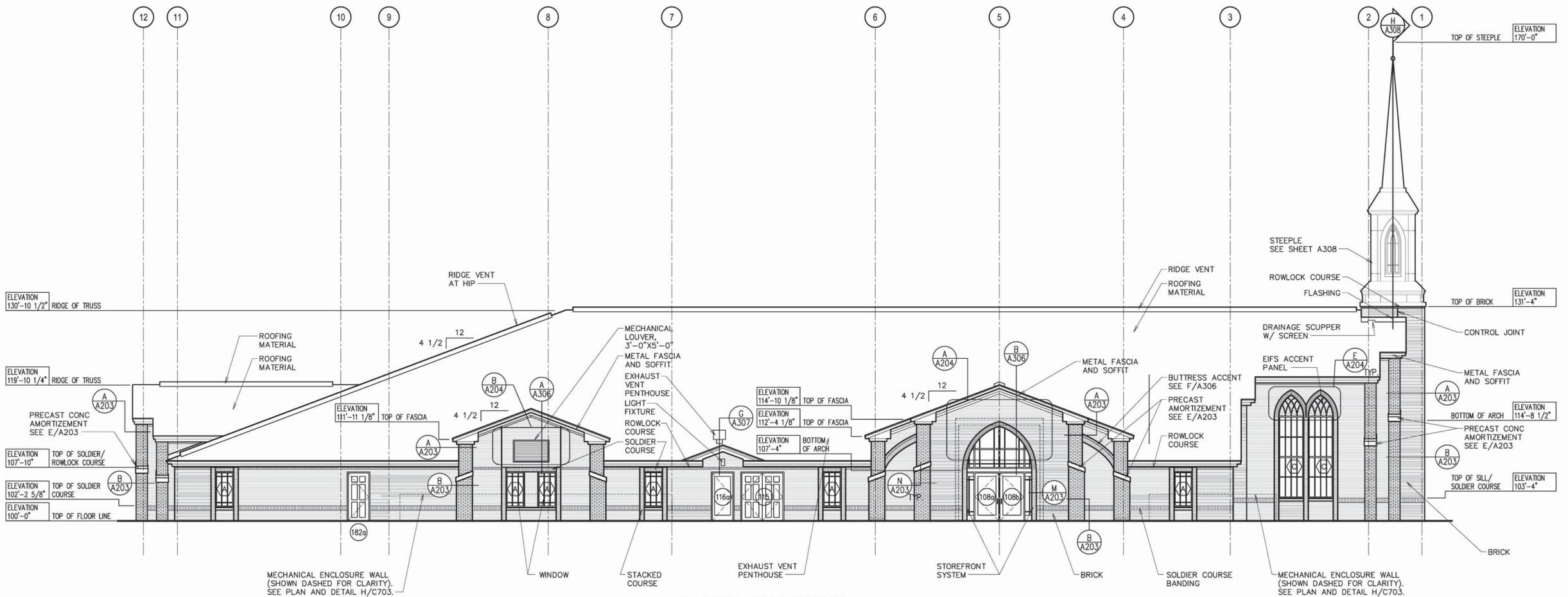
BUILDING
ELEVATIONS

SHEET:

A201



1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION



 65 E Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010

 Draper, Utah 84020 Fax: 801.571.0303

 Toll Free: 888.571.0010

 bbdarchitects.com

PROJECT NAME: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME: Cedar Hollow 6, 8
 Lehi UT Cedar Hollow Stake

SHEET TITLE: BUILDING ELEVATIONS

SHEET: A202

F26
OUTDOOR POLEMOUNTED FIXTURE
*PARKING AREA LIGHTING 208 VOLTS,
SEE FIXTURE SCHEDULE NOTE, TYPE III
DISTRIBUTION

LED 8000 4000 K Power 0 V/1-140 VA Hadco RX140SCBA3NAMNNSN Hubbell CL1SA32LU4K3BLCD Cree ARE-EDG-3M-DA-06-UL-SCBA -525MA Cooper LDRV-T30B04-E-8030-CB A/SSA18B4-H-CBA Lithonia KADLED639530/30KSR3 SPD04 L/LP/PHA-5-4012-18 LSI XASU-FT-LED64-HO-CW-UC-CBA/ 705-4012-18 1



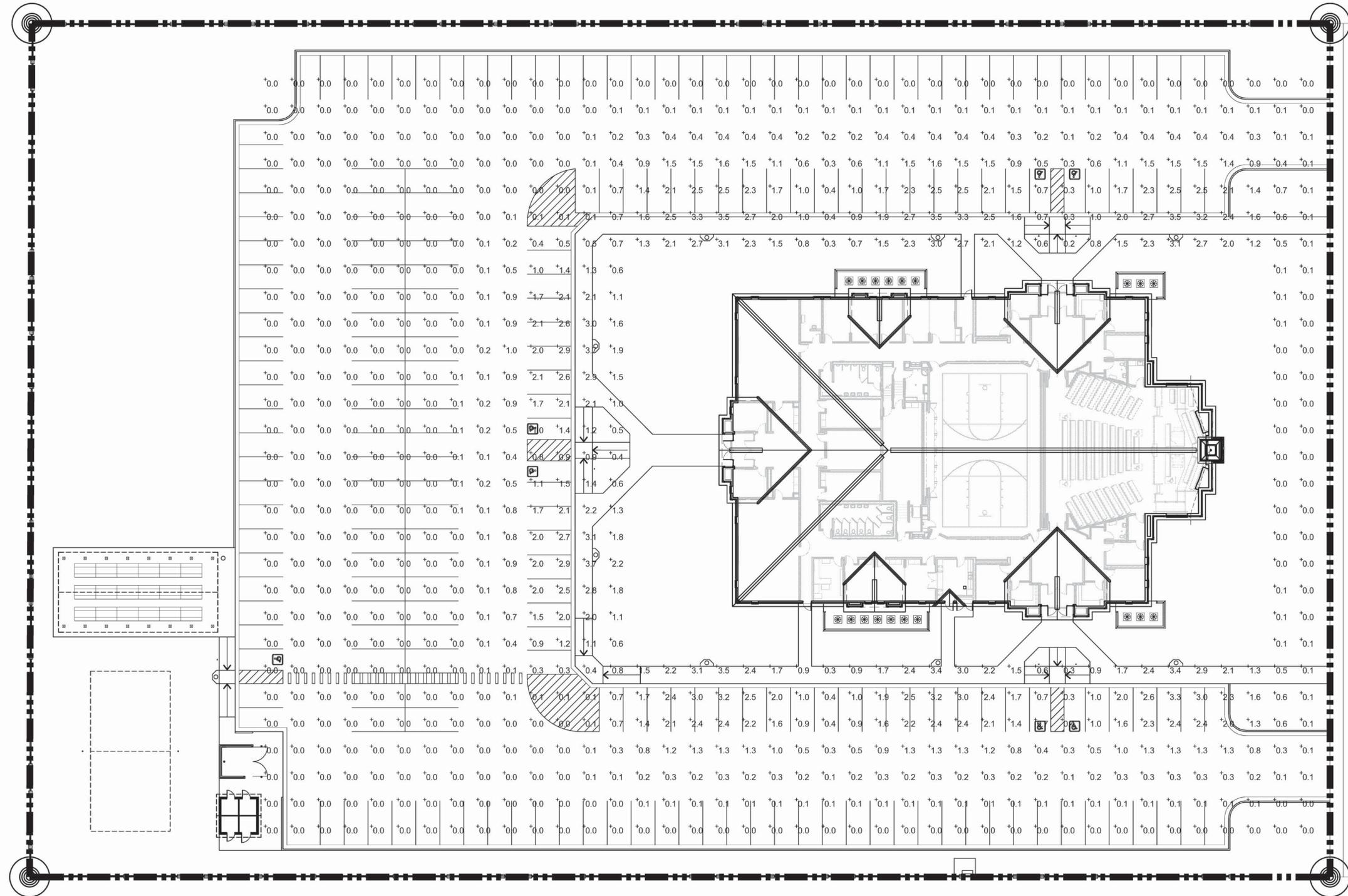
F26

F27
OUTDOOR SCONCE WET LOCATION
FINISH TO MATCH PARKING LOT
FIXTURES. PROVIDE INTEGRAL
PHOTOCELL FOR STORAGE SHED
FIXTURE. SEE SHEET E501

LED 4000 4000 K 120 V/1-50 VA Phillips LP-32-W McGraw-E dison ISS-B02LED-E1-BL3-CBA-P Tracelite TLED112-45-DT-SZ277 Lithonia WSO LED-2-3000K-SR3 MD 120 SCBA L/LP Hubbell LNC2-12LU-4K-TYPE III-4 Acculite DS-A017-4K-UN-CBA 2



F27



#	DATE	DESCRIPTION

STAMP



65 E Wadsworth Park Dr., Ste 205 Phone: 801.571.0010
Draper, Utah 84020 Fax: 801.571.0303
Toll Free: 888.571.0010
bbdarchitects.com

PROJECT FOR
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

PROJECT NAME
**Cedar Hollow 6, 8
Lehi UT Cedar Hollow Stake**

PROPERTY #
592-7091

PLANS SERIES
HET-MAS-06-05

DATE
30 Jun 2015

APPROXIMATELY 8850 North 9600 West
Highland, Utah

BINDA PROJECT #
1531

SHEET TITLE
**PHOTOMETRIC
SITE PLAN**

SHEET:
E101



Thu, 9 Jul 2015

Highland City Planning Department
5400 W. Civic Center Dr., Suite 1
Highland, UT 84003

801.756.5751

Re: CUP Project Narrative for the Cedar Hollow 6, 8 LDS Meetinghouse
Attention: Nathan Crane

The proposed use will not under the circumstances of this case be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.

The proposed use will comply with regulations and conditions specified in the Highland City Development Code for such use.

The proposed facility will be a religious building and its construction and use will be consistent with the Highland City General Plan and in compliance with the Development Code and other city codes and regulations.

As is common in many areas of the city and surrounding communities, the building will be built in a residential neighborhood for the use of those living in the area. As such, it will be a compatible use with those of the adjacent properties. The design of the building is intended to complement residential communities and adjacent properties.

The building will be near the front of the property with parking on the sides and in the rear. There will be a small grass area with a pavilion at the rear of the site for congregant social activities. There will be a solid fence built at the sides and rear of the property, isolating the property from the neighbors. Exterior and parking lot lighting is intended to be bright enough for safety but not intrude on neighboring properties.

There are two vehicle entrances / exits from the property. With the number of parking stalls and with the use of the building, this should easily accommodate the needs of the congregants both for safety and convenience. Adequate parking space has been provided for all congregants that will be using the building at any given time in off-street parking. There are no street intersections nearby. The property to the north is an agricultural field and has no driveways nearby. The neighbor to the south has a driveway that is immediately to the south of the project. It is intended to access a garage at the rear of the property. Its use is infrequent and there should be no conflicts with our driveways or traffic patterns. Traffic to and from the building is generally isolated to Sundays. Some traffic activity will occur during the week, but it will be mostly in evenings.

The parking lot has good circulation and no dead-end drives. All drives are wide enough for emergency vehicles to access and exit the property.

The building is situated at the front of the site. Pedestrians will find it easy to access from the city sidewalks. A bike rack is included for those travelling by bicycle.

There are no employees at the facility. All "staff" will be local people in volunteer positions. The building will operate Sundays from around 7:00 am to around 7:00 pm; Tuesdays through Thursdays from around 5:00 pm to 9:00 pm; and infrequently on Saturdays.

No noise, smoke, odor, dust, vibration, or excess illumination will be created by the proposed use.

Thank you for your review of this project. Let me know if any of these items require further clarifications or correction.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Lefe T Harris', written over a horizontal line.

Lefe T Harris, Principal
B H D Architects

Neighborhood Notification Meeting Minutes

Project: Proposed LDS Church Meetinghouse, Conditional Use Permit and Site Plan Approval, 9681 North 6900 West

Date of Meeting: 16 July 2015, 6:00 pm – 7:00 pm

Location of Meeting: LDS Church Meetinghouse, Relief Society Room
2178 North 1200 East, Lehi, Utah

Attendees:

1. Mike Davey, BHD Architects
2. Eric Duclos, LDS Church Facilities Manager
3. President Raines, LDS Church Stake Presidency
4. President Duncan, LDS Church Stake Presidency
5. Ben Fietkau
6. Mike Gagon
7. Chet and Shoni Smith
8. Earl Simmons
9. Cole Peck
10. Shawna Horne
11. Gary Cooper
12. Mark Whittington

Items Discussed:

- A. Ben Fietkau (the neighbor to the east) needs to continue receiving the irrigation water from the open ditch on the church site. The Church will pipe the irrigation ditch and provide gate controls on a new irrigation control box.
- B. Gary Cooper was concerned about the sanitary sewer line depth under the dead end 6900 West Street. Gary owns property north of the Alpine School District parcel. The sewer line depth at the end of the road is 13 feet deep.
- C. The neighbors approved of the proposed precast concrete fence around the new Church site.
- D. There was a concern expressed that Church traffic only can go in one direction – to the intersection of 6900 West and 9600 South.
- E. The neighbor to the south was concerned that there may be on-street Church parking that would block his gates.
- F. None of those present were opposed to the proposed Church meetinghouse.



Community Development

SUBJECT: PUBLIC HEARING – Preliminary Plat for The Flats at Fox Hollow

MEETING DATE: August 25, 2015

TO: Planning Commission

FROM: Nathan Crane, Community Development Director
John Janson, Temporary Planning Assistant

REQUEST: Preliminary Plat for 11 lots for The Flats at Fox Hollow

PARCEL SIZE: 9.8 Acres

LOCATION: 5650 West and 9600 North

APPLICANT: Jeremy Ackley for Millhaven Construction

OWNER: MillHaven Construction, LLC

BACKGROUND:

The property is designated as Low Density Residential on the General Plan Land Use Map. The property is zoned R-1-40 (Single Family Residential). The R-1-40 District allows one home per 40,000 square feet but includes an allowance for streets to be deducted from the lot size. The minimum lot width is 130 feet.

Subdivision review and approval is an administrative process.

SUMMARY OF REQUEST:

1. The applicant is requesting approval of an 11 lot single family residential subdivision. The proposed density is approximately .90 units per acre.

Lot	Square Footage		Lot	Square Footage
1	35,926		7	35,471
2	35,783		8	35,409
3	35,555		9	37,850
4	44,304		10	34,523
5	41,717		11	27,253
6	26,982			

2. Access to the site will be from 5650 West and 9600 North.

CITIZEN PARTICIPATION:

Notice of the August 18, 2015 Development Review Committee Meeting was mailed to all property owners within 500' of the proposed plat on August 6, 2015. Four citizens attended the meeting. Issues discussed at this meeting include the existing irrigation ditch and road improvements along 9600 North.

Notice of the Planning Commission meeting was published in the Daily Herald on August 9, 2015. Notice of the meeting was also mailed to all property owners within 500' on August 10, 2015. No comments have been received.

ANALYSIS:

- The property is designated as low density residential in the General Plan Land Use Map. The proposed subdivision meets the intent of the General Plan.
- The property to the north and west is existing single family residential. To the south and east are agricultural uses. The proposed subdivision is compatible with surrounding uses, but an agricultural area notification on the plat would be a reasonable requirement to assure future buyers are aware of potential conditions resulting from adjacent agricultural operations.
- The proposed development includes one existing home, located on lot 11, which fronts on 9600 North. By including this home in the subdivision the improvements along 9600 North adjacent to the lot will be completed. In addition, the applicant has agreed to install the curb and asphalt along 9600 North to complete the improvements. The City will reimburse the applicant for this cost.
- There is an existing ditch on the property. This ditch will need to be piped and relocated. Approval from the American Fork Irrigation District will be required prior to final approval of the civil construction plans.
- Utilities will be extended from 9600 North to serve the site.
- Water will be dedicated as required by the Development Code prior to final plat recordation.

FINDINGS:

The proposed subdivision plat meets the following findings with stipulations:

- It is in conformance with the General Plan, the R-1-40 District and the Highland city Development Code

RECOMMENDATION:

The Planning Commission should hold a public hearing and recommend **APPROVAL** of the preliminary plat subject to the following stipulations:

1. The final plat shall be in substantial conformance with the preliminary plat dated July 20, 2015.
2. Final civil engineering plans to be reviewed and approved by the City Engineer.
3. Prospective homebuyers shall be informed by an affidavit of the proximity of agricultural uses.
4. Written approval from the American Fork Irrigation District regarding the piping and relocation of the ditch shall be provided prior to approval of the final civil construction plans.
5. All required public improvements shall be installed as per City Engineer's approval.

PROPOSED MOTION:

I move that the Planning Commission accept the findings and recommend **APPROVAL** of the preliminary plat for Plat "A", The Flats at Fox Hollow, subject to the six stipulations recommended by staff.

ALTERNATE MOTION:

I move that the Planning Commission recommend denial of the preliminary plat for Plat "A", The Flats at Fox Hollow, subject to the following findings (The Commission should draft appropriate findings that demonstrate the proposed plat does not meet the standards established in the Development Code).

ATTACHMENTS:

Attachment 1 –Proposed Preliminary Plat for Plat "A" The Flats at Fox Hollow



Community Development

SUBJECT: PUBLIC HEARING – Conditional Use Permit Salt Storage Building (CU-15-04)

MEETING DATE: August 25, 2015

TO: Planning Commission

FROM: Nathan Crane, Community Development Director
Justin Parduhn, Operations and Maintenance Director

REQUEST: Conditional Use Permit for a Salt Storage Building

PARCEL SIZE: 2.46 Acres

LOCATION: Northwest Corner of Park Drive and SR92

APPLICANT: Highland City Council

OWNER: Highland City

BACKGROUND:

The site is designated as Low Density Residential on the General Plan Land Use Map. The site is zoned R-1-40 (Residential Zone). Public buildings and grounds are permitted in the R-1-40 District subject to a conditional use permit.

One of the requirements of the Environmental Protection Agency (EPA) requires that all salt storage be contained and covered to prevent ground water discharge during storms. The EPA has been active in auditing this requirement on surrounding cities. The purpose of this facility is to address these requirements before an audit.

A Conditional Use Permit is an administrative action.

SUMMARY OF REQUEST:

1. The Highland City Council is requesting approval of a 1,600 square covered salt storage facility with a 1,600 square foot concrete pad. The facility will be used to store salt for use during the winter. The facility has been sized to meet current and future needs.
2. The facility is enclosed on three sides with a cover. The fourth side will have metal gate that will be locked. Salt will be delivered to the site and placed on the concrete pad. It will then

be pushed with a front end loader into the storage facility. When needed a front end loader will be used to remove the salt and load it into the plow trucks.

3. Hours of operation will be dependent on weather. Deliveries will occur early to the middle of fall. There will be no staff stationed at this site. The only use will be during winter storms.
4. Access to the site is provided from Park Drive which has been constructed.
5. There will be no staff parking.
6. The proposed building is a maximum of 16' feet in height.
7. The site includes over 35% of existing natural vegetation. The road improvements adjacent to SR92 will be constructed in conjunction with a road widening project in the future.

CITIZEN PARTICIPATION:

Since this is a City application, the Planning Commission meeting serves as the neighborhood meeting.

Notice of the August 25, 2015 Planning Commission meeting was published in the Daily Herald on August 9, 2015. Notification letters were mailed out to surrounding property owners on August 10, 2015. No comments have been received.

REQUIRED FINDINGS:

The City Council must determine that the proposed use meets three findings prior to granting a Conditional Use Permit. The burden of proof rests with the applicant. Each finding is presented below along with staff's analysis.

- 1. The use will not be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity or injurious to property or improvements in the vicinity.**

The surrounding property is zoned R-1-40. The property to the north and west is an active gravel pit. The property to the east is the existing public works facility. The property to the south is the debris basin. There are no existing homes adjacent to the property. The proposed use is compatible with the existing land uses.

- 2. The use complies with all applicable regulations in the Development Code.**

The building is setback in excess of 30 feet from both streets. The site meets the minimum 35% landscaping. There will be no lighting. There will be a two foot berm on the north side of the site that will protect the American Fork River from potential runoff. The proposed building will meet all requirements of the Development Code.

- 3. Conditions are imposed to mitigate any detrimental effects.**

Three stipulations have been included to ensure compliance with the Development Code.

CONCLUSION:

The Planning Commission and City Council will need to determine if the proposed site plan meets the required findings for approval.

RECOMMENDATION:

The Planning Commission should hold a public hearing and make a recommendation to the City Council.

ATTACHMENTS:

Attachment 1 – Proposed Site Plan
Attachment 2 – Proposed Elevation

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN ARE THE PROPERTY OF J-U-B ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR PART FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF J-U-B ENGINEERS, INC.

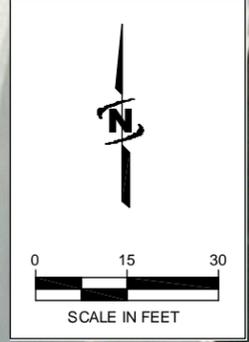
NO.	REVISION	DESCRIPTION	BY	DATE

HIGHLAND CITY SALT STORAGE BUILDING
HIGHLAND CITY

SITE PLAN



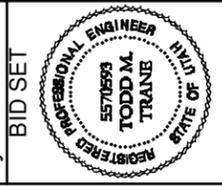
NOTES:
1. GRADE SITE AROUND CONSTRUCTED BUILDING AND CONCRETE PAD AS NECESSARY TO MATCH EXISTING, 10:1 MAX SLOPE.



Plot Date: 8/29/2015 5:50:55 PM
 Printed By: Brian Hill
 Date Created: 8/29/2015 10:05:15 AM
 Project: 80-14-031 - HIGHLAND - FY 2012-2014 GENERAL SERVICES SALT STORAGE BUILDING SHEETS 1458 C-101 SITE PLAN DWG



J-U-B ENGINEERS, INC.
 240 W. Center St.
 Suite 200
 Orem, UT 84057
 Phone: 801.226.0393
 Fax: 801.226.0394
 www.jub.com



NO.	DESCRIPTION	BY	DATE

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF JUB ENGINEERS, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN AUTHORIZATION OF JUB ENGINEERS, INC.

HIGHLAND CITY SALT STORAGE BUILDING
SITE PLAN

FILE: 25-14-031-C-101-STEPHAN
 JUB PROJ.#: 25-14-031
 DRAWN BY: CRW
 DESIGN BY: CRW
 CHECKED BY: TMF

AT FULL SIZE (PHOTOGRAPHIC SCALE)
 LAST UPDATED: 7/26/2015

SHEET NUMBER:
C-101



NOTES:
 1. GRADE SITE AROUND CONSTRUCTED BUILDING AND CONCRETE PAD AS NECESSARY TO MATCH EXISTING, 10:1 MAX SLOPE.

CONSTRUCT 2' HIGH EARTH BERM ALONG EDGE OF DROP-OFF, 3:1 MAX SLOPE

FINISHED CONCRETE 100'-00"

2% SLOPE

6" CONCRETE PAD ON 4" ROADBASE

40.00'

40.00'

FINISHED CONCRETE 100'-00"

FF ELEVATION 100'-10"

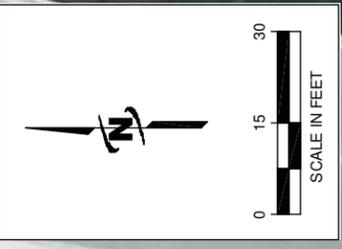
REMOVE SECTIONS OF EXISTING FENCE AS NECESSARY

SALT STORAGE BUILDING SEE STRUCTURAL SHEETS

PRESERVE AND PROTECT EXISTING FENCE

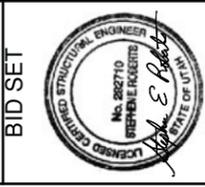
S.R. 92

PARK DRIVE





J-U-B ENGINEERS, INC.
 240 W. Center St.
 Suite 200
 Orem, UT 84057
 Phone: 801.226.0393
 Fax: 801.226.0394
 www.jub.com



BID SET

NO.	DESCRIPTION	BY	DATE

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF J-U-B ENGINEERS, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF J-U-B ENGINEERS, INC.

HIGHLAND CITY SALT STORAGE BUILDING

FOOTING AND FOUNDATION PLAN

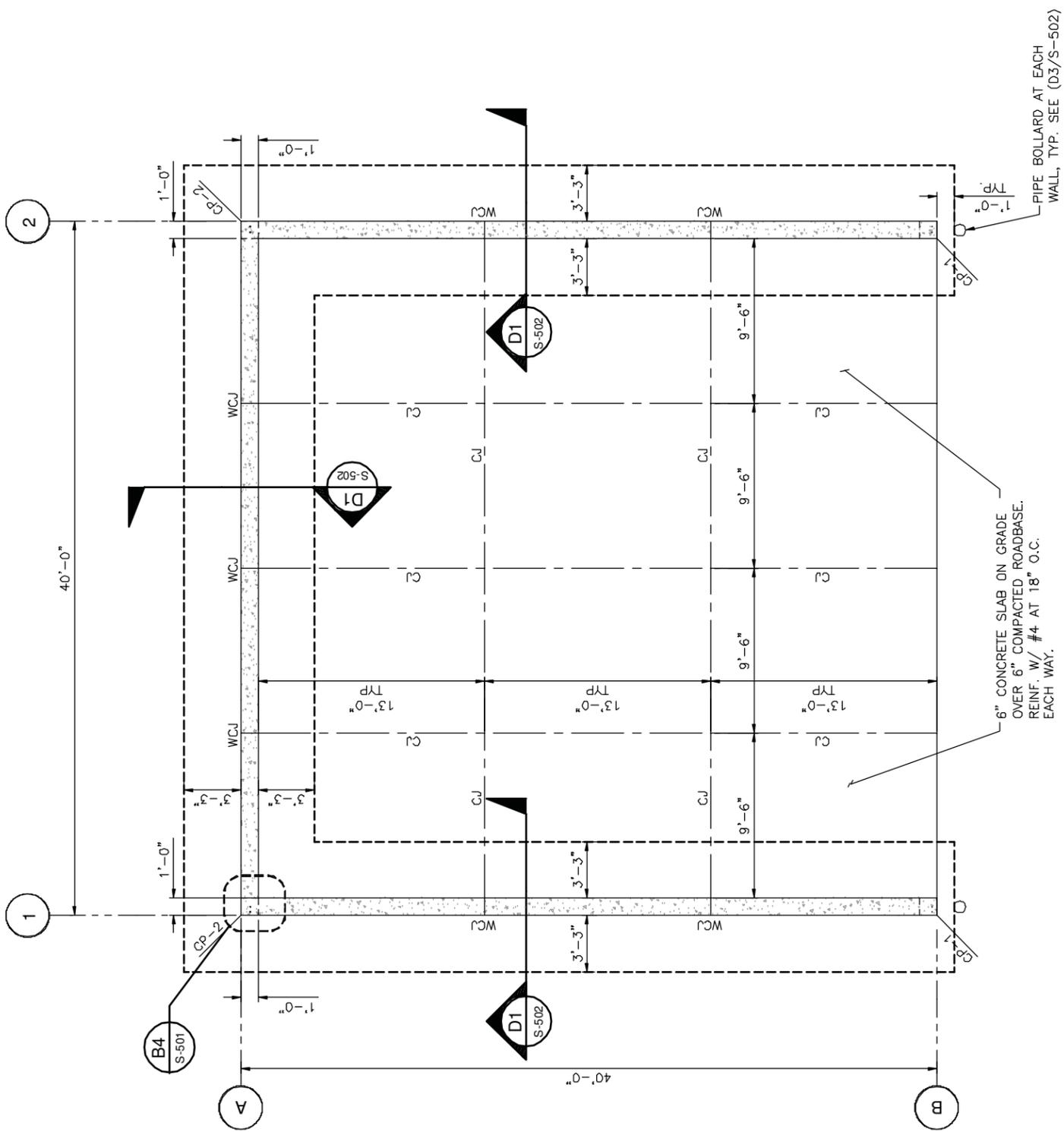
FILE: 25-14-031-S-101X-STRUCTURAL
 JUB PROJ.#: 25-14-031
 DRAWN BY: CRW
 DESIGN BY: CRW
 CHECKED BY: TMF
 DATE: 7/26/20
 AT FULL SIZE (PHOTONEGATIVE)
 DIMENSIONS ACCORDINGLY
 LAST UPDATED: 7/26/20

SHEET NUMBER: S-101

MARKS & SYMBOLS LEGEND:

MARK	DESCRIPTION
	SECTION MARK
	SHEET NUMBER
	CONCRETE WALL, SEE FOOTING & FOUNDATION DETAILS ON (S-502)
CJ	SLAB ON GRADE CONTROL JOINT, SEE FOOTING & FOUNDATION DETAILS ON (S-502)
WCJ	WALL CONSTRUCTION/CONTROL JOINT, SEE FOOTING & FOUNDATION DETAILS ON (S-502)
CP-x	CONCRETE PIER, SEE SCHEDULE ON (S-102)

- ### FOUNDATION PLAN NOTES:
- SEE FOOTING & FOUNDATION DETAILS ON SHEET (S-501) FOR STRUCTURAL FILL BENEATH FOOTINGS, IF REQUIRED BY SITE SOIL CONDITIONS.
 - SEE FOOTING & FOUNDATION DETAILS ON SHEET (S-501) FOR REINFORCING AROUND MISCELLANEOUS OPENINGS IN CONCRETE WALLS.
 - SEE FOOTING & FOUNDATION DETAILS ON SHEET (S-501) FOR BURIED PIPES RUNNING PARALLEL AND PERPENDICULAR TO FOOTINGS.
 - SEE FOOTING & FOUNDATION DETAILS ON SHEET (S-502) FOR TYPICAL CONSTRUCTION AND CONTROL JOINTS IN FLOOR SLABS.
 - SEE FOOTING & FOUNDATION DETAILS ON SHEET (S-501) FOR CONCRETE REINFORCING STEEL LAP SCHEDULE.



D1
 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.
240 W. Center St.
Suite 200
Orem, UT 84057
Phone: 801.226.0393
Fax: 801.226.0394
www.jub.com

BID SET



NO.	DESCRIPTION	BY	DATE

REVISION

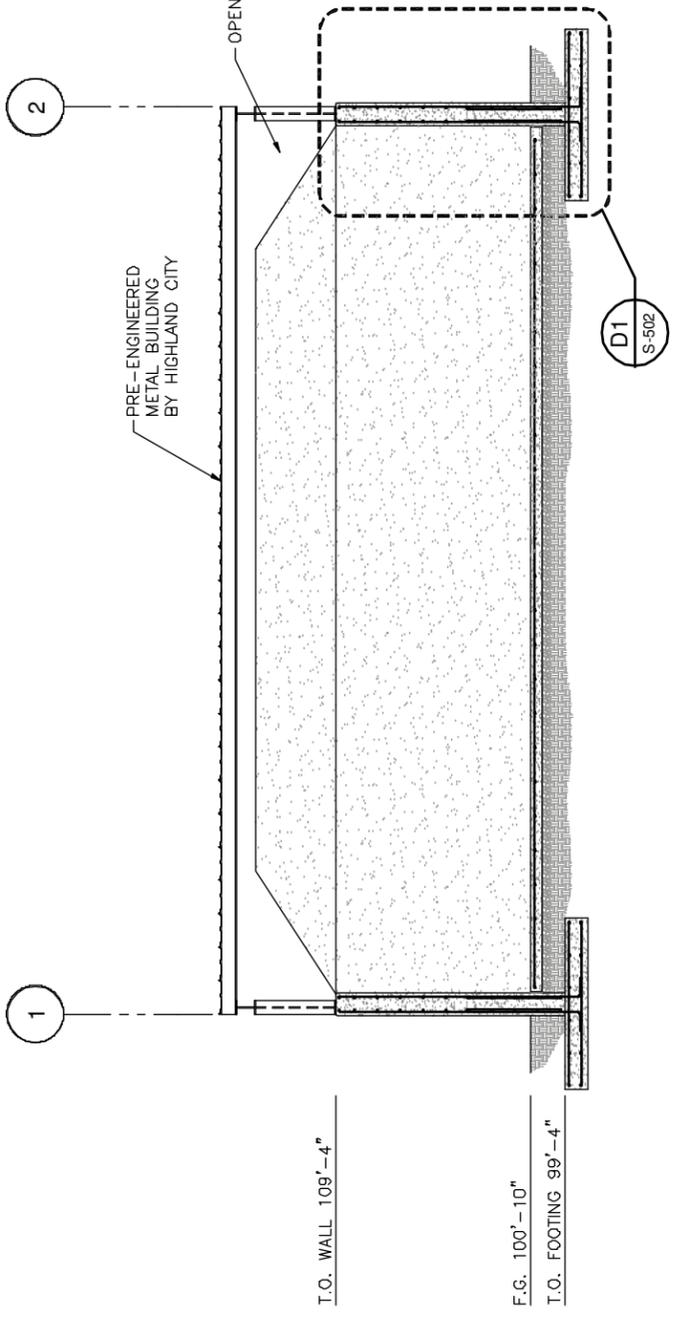
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF JUB ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF JUB ENGINEERS, INC.

HIGHLAND CITY SALT STORAGE BUILDING

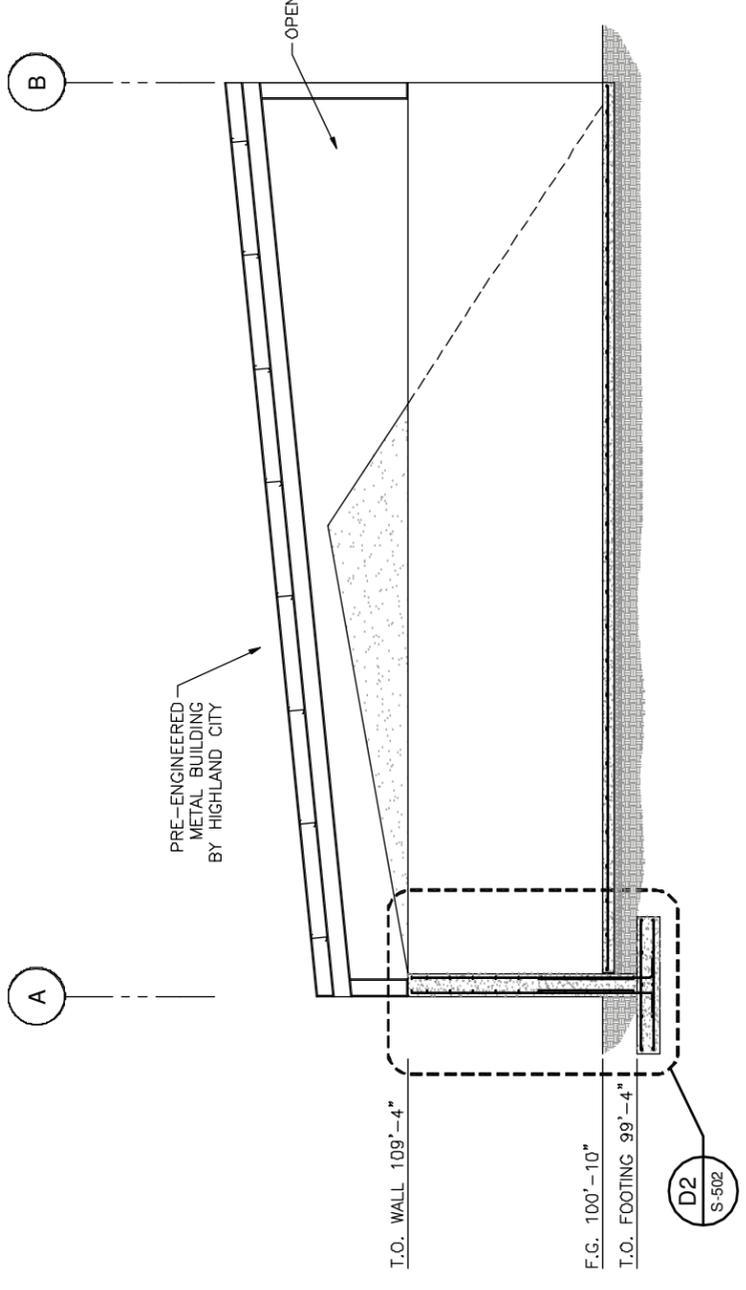
BUILDING SECTIONS

FILE: 25-14-031-S-101X-STRUCTURAL
JUB PROJ.#: 25-14-031
DRAWN BY: CRW
DESIGN BY: CRW
CHECKED BY: TMF
ONE INCH
AT FULL SIZE (PHOTONEGATIVE)
UNLESS OTHERWISE SPECIFIED
LAST UPDATE: 7/26/19

SHEET NUMBER:
S-301



B1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



D1 BUILDING SECTION
SCALE: 1/4" = 1'-0"